



CITYWIDE MULTI-FAMILY OBJECTIVE DESIGN STANDARDS



ADOPTED
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CHAPTER I INTRODUCTION



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CHAPTER I - INTRODUCTION

I.1 PURPOSE

The purpose of the Multi-family Objective Design Standards is to ensure that new multi-family development in Dublin provides high quality architecture, appropriately connects to its surroundings, includes well designed amenities and open spaces, promotes sustainability, and contributes to walkable and safe environments. The Multi-family Objective Design Standards are intended to guide property owners, applicants/developers and design professionals and provide clear design direction that enhances an area's unique character and ensures a high-quality living environment that will be desirable and hold its value over time, while encouraging creative design that enriches the community of Dublin.

I.2 ORGANIZATION AND APPLICABILITY

The following Multi-family Objective Design Standards are organized into two primary sections: Site Planning and Building Design. The Site Planning Chapter includes objective standards for site layout and building placement, vehicular access and parking, and outdoor spaces and amenities. The Building Design Chapter includes objective standards for building form and massing, façade articulation, unit entries, fenestration, colors and materials, parking structure design, and accessory structures and utilities.

The Multi-family Objective Design Standards supplement existing development standards described in Title 8 (Zoning) of the Dublin Municipal Code and Planned Development zoning districts, as well as in adopted specific plans, such as the Downtown Dublin Specific Plan, Dublin Crossing Specific Plan, Dublin Village Historic Area Specific Plan, and Eastern Dublin Specific Plan. If there is any conflict between these standards and those in another adopted document, the more restrictive standard shall apply.

All new multi-family residential development shall comply with the Multi-Family Objective Design Standards contained herein. To be eligible for a streamlined approval process, the development must meet the specific eligibility criteria as set forth in Government Code Section 65913.4. Projects that are eligible for streamlined approval shall be consistent with all Multi-Family Objective Design Standards contained herein. The discretionary Site Development Review (SDR) Permit process described in Dublin Municipal Code Chapter 8.104 shall be used for all developments that are not eligible for streamlined approval. Applicants requesting any deviation from these Multi-Family Objective Design Standards shall be reviewed under the discretionary SDR Permit process. Allowing flexibility through a discretionary SDR Permit shall not be construed as allowing dilution of the quality and character of a project.

For a glossary of relevant terms used throughout this document, please refer to **Appendix A**.



CHAPTER 2

SITE PLANNING OBJECTIVE STANDARDS



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CHAPTER 2 - SITE PLANNING OBJECTIVE STANDARDS

Site planning refers to the arrangement of buildings and parking areas, the size and location of pedestrian spaces and parking areas, and how these features relate to one another. Topics in this Chapter include building placement, vehicular surface parking and access, bicycle parking, pedestrian circulation and access, and private and common usable outdoor space.

2.1 BUILDING PLACEMENT

- A. Buildings located adjacent to the primary street shall have unit front entries facing the street.
- B. For buildings not located along the primary street, unit front entries shall be oriented to face internal common open space areas such as landscaped courtyards, plazas, or paseos.
- C. Each dwelling unit fronting a primary or side street shall include at least one street-facing porch, balcony, and/or patio.



2.1.A Buildings located adjacent to the primary street shall have unit front entries facing the street



2.1.B Buildings not located along the primary street shall have unit front entries oriented to face internal common open space areas



2.1.D A minimum five-foot wide landscape buffer shall be located adjacent to all ground level private outdoor spaces to provide additional privacy and security

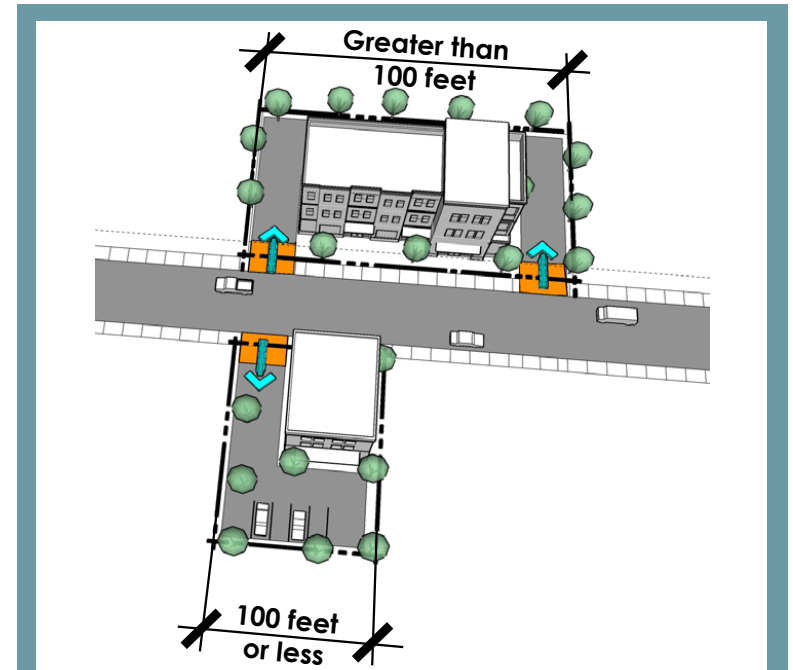
- D. A minimum five-foot wide landscape buffer shall be located adjacent to all ground level private outdoor spaces to provide additional privacy and security for the residents. The buffer shall be planted with dense evergreen shrubs and vines which grow to or are maintained at a three-foot minimum height. Stoops are permitted to encroach into the five-foot wide landscape buffer.
- E. Ground floor units shall be located, oriented, and/or screened to prevent visual intrusion of vehicle lights into habitable ground floor spaces.
- F. Projects with six or more dwelling units shall cluster mailboxes in a common centralized location that is internal to the site. Clustered mailboxes shall utilize the same colors and/or materials to the main buildings on the site.

2.2 VEHICULAR SURFACE PARKING AND ACCESS

- A. When alley or side street access is available, primary access to parking areas shall be taken from this location, rather than the primary street.
- B. Enhanced paving treatment using patterned and/or colored pavers, brick, or decorative colored and scored concrete shall be used as follows:
 - i. Entry Drives - Minimum 12 feet deep across the width of each entry drive.
 - ii. Pedestrian Crossings - Minimum one foot wider than connecting walkways across the length of the intersecting primary and side streets.
- C. For interior lots with less than 100 linear feet of street frontage, a maximum of one vehicle access point from the street is permitted. For interior lots with 100 linear feet or more of street frontage, a maximum of two vehicle access points from the street is permitted. For corner lots, one vehicular access point is permitted per street frontage, with an overall maximum of two vehicular access points permitted. Vehicle access points shall be located near the property line furthest from the intersection.
- D. For developments with controlled entrances, including vehicular access gates to parking areas, access shall be located a minimum of 20 feet from the back of sidewalk along Collector, Local Residential, or Private streets, and 40 feet from the back of sidewalk along Arterial roadways to accommodate vehicle(s) entering the site without queuing into the street.



2.2.B Project entries and pedestrian crossings shall feature enhanced paving



2.2.C Interior lots with a street frontage width less than 100 feet, one access point is permitted. Interior lots with a street fronting width greater than 100 feet may have up to two access points.



2.2.E Surface parking areas for developments shall be screened from the street

- E. Surface parking areas for developments shall be screened from the street. Screening may be accomplished through building placement, landscape features, and/or low walls. Low walls for screening shall be set back at least three feet from the back of public sidewalks with evergreen shrubs and/or vines provided between the sidewalk and wall.
- F. Developments with more than 20 units shall provide at least one ride share pick-up and drop-off and/or delivery location within 100 feet of an entrance to the primary building.
 - i. Ride share pick-up and drop-off and/or delivery locations shall be clearly visible from the roadway and/or primary driveway entrances and provide a passenger loading space or temporary parking space to avoid passenger loading within vehicular circulation routes.
 - ii. Ride share pick-up and drop-off and/or delivery locations shall provide waiting area with a minimum of one bench and one waste/recycling receptacle. Benches shall be covered or located under trees. The waiting area may be located within a building lobby, clubhouse, or common building if the pick-up location is visible from this location.

2.3 BICYCLE PARKING

- A. Short-term bicycle parking shall be provided in the form of permanent, readily visible bicycle racks. Bicycle racks must allow both wheels to be locked to the rack. Racks shall be located within 200 feet of the primary building entrance. Bicycle racks and associated bicycle maneuvering shall not impede upon the public sidewalk path of travel and shall not be placed within the public right-of-way.
- B. At least one long-term bicycle storage space is required for each unit and may be located within a designated space within the unit, within individual lockable containers outside of the unit, or within a secure, long-term bicycle parking area.
- C. Secure, long-term bicycle parking areas shall be enclosed and designed within a parking structure or building, or within a lockable storage enclosure.
 - i. Lockable storage enclosures shall not be visible from the right-of-way.
 - ii. Enclosures must be designed with materials and colors used in the primary building or shall be screened with dense evergreen shrubs and trees.



2.3.A Short-term bicycle racks shall be located in a visible location within 200 feet of the building entrance



2.3.C Long-term bicycle parking shall be located in a secure area within a parking structure or building, or within a lockable storage enclosure

2.4 PEDESTRIAN CIRCULATION AND ACCESS



2.4.A On-site pedestrian circulation and access shall be provided to connect the site



2.4.B Differing/contrasting paving materials shall be used to distinguish primary entries to buildings

- A. Paved on-site pedestrian circulation and access shall be provided according to the following standards:
 - i. Connecting residential units to other areas of the site, such as parking areas, common outdoor areas, waste and recycling enclosures, pet waste stations, and pedestrian amenities.
 - ii. Connecting public sidewalks to building entries and parking areas.
 - iii. Connecting building entrances to all bus/transit stops directly adjacent to the project.
- B. Primary entries to buildings shall provide decorative paving that contrasts in color and texture from the adjacent walkway paving to accentuate the entrances.
- C. Pedestrian walkways on private property shall be designed with the following conditions:
 - i. Constructed of firm and slip-resistant materials such as concrete, stamped concrete, or concrete pavers.
 - ii. Designed with a minimum width of four feet.
 - iii. Flanked on both sides of the walkways with landscaping, including a mix of turf or low groundcovers and low shrubs that do not exceed four feet in height.
 - iv. Evergreen canopy trees spaced to shade at least 50 percent of the overall walkway length at maturity.
 - v. Pedestrian scale lighting fixtures located at least five feet away from adjacent residential dwellings. Design of pedestrian-scale lighting fixtures shall be consistent with building lighting fixtures.

2.5 PRIVATE OUTDOOR SPACE

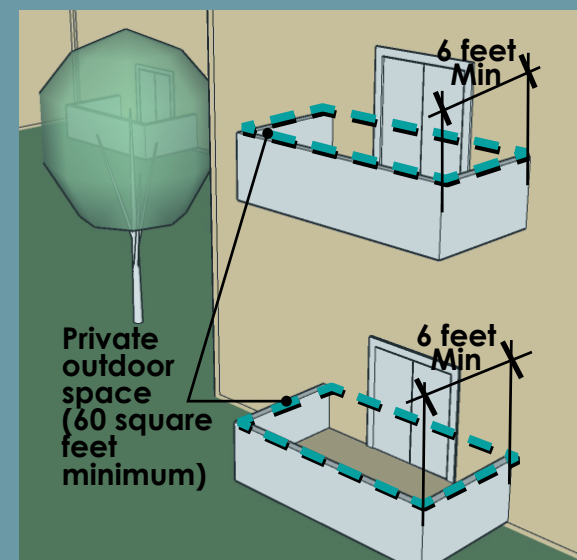
- A. The equivalent of 10 percent or more of the floor area of each unit shall be provided as private outdoor space. For units on upper floors, this outdoor space may be provided by decks and balconies. This requirement may be satisfied by more than one private outdoor space area.
- B. Private outdoor space, including balconies provided to meet private outdoor space requirements shall be provided at a minimum of 60 square feet per unit with a minimum dimension of six feet in any direction.

2.6 COMMON USABLE OUTDOOR SPACE

- A. Common usable outdoor space shall be provided at minimum 30 percent of the net site area. For example, a one-acre net site would be required to provide 13,068 square feet of common usable outdoor space in one or multiple locations within a project.
- B. A minimum of one pet waste bag and disposal station shall be provided per common usable outdoor space where pets congregate.
- C. Common usable outdoor space shall be arranged to maximize visibility by project residents. Barriers shall be designed with transparency to afford opportunities for surveillance through the barrier.



2.5.A Private outdoor space shall be provided for each unit



2.5.B Private outdoor space shall be provided at a minimum of 60 square feet per unit with a minimum dimension of six feet in any direction

Total Number of Outdoor Amenities	
Number of Units	Required Number of Amenities
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 100

2.6.D.iv Outdoor Amenity Table



2.6.D.v Example of outdoor lounging furniture

D. Outdoor Amenity Requirements.

- i. Outdoor amenities shall be provided as a component of required Common Usable Outdoor Space.
- ii. Each common usable outdoor space shall be designed with a minimum of 500 square feet of dedicated and improved open space, with a minimum dimension of 10 feet in any direction.
- iii. Each common usable outdoor amenity space shall include a minimum of one secure in-place waste/recycling receptacle and one covered seating area, unless otherwise specified in this section.
- iv. The number of amenities within common usable outdoor space shall be based on the number of units within the multi-family project as shown in the Outdoor Amenity Table. Where more than one amenity is required, a combination of the outdoor amenities identified in subsection v. shall be provided.
- v. Amenity requirements shall be satisfied with one or more of the following:
 - a. Children's play area, with at least four pieces of play equipment, designed for children of all abilities and ages five years and younger.
 - b. A landscaped and improved gathering space,
 1. Shall contain the following:
 - a. At least four picnic tables or equivalent lounging furniture.
 - b. A minimum of five shade trees.
 - c. At least two barbecue fixtures and/or two fire pits,
 - d. Minimum two secure in-place waste/recycling receptacles.
 - e. Shade coverage for a minimum of 25% of the gathering space area (shade sail, umbrella, trellis, gazebo, or additional evergreen shade trees beyond the minimum requirement).
 2. May be provided either at ground level, or on roof decks/ terraces but shall not be located on roofs directly adjacent to single-family zoning districts.

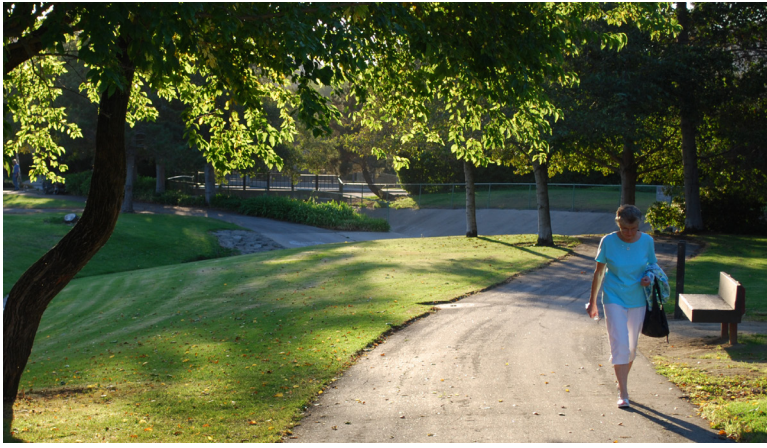
3. Barbecue fixtures and/or fire pits shall be located at least 20 feet away from adjacent existing and proposed residential units.
- c. An illuminated, regulation size tennis or multipurpose court and incorporating shielded cut-off light fixtures.
- d. A dedicated and improved illuminated space containing at least one regulation size Bocce, Petanque, or other similar type court. The space shall contain a minimum of three benches or equivalent lounging furniture (at least one covered by an overhead shade canopy or evergreen tree), at least two secure in-place waste/recycling receptacles, and a minimum of three shade trees.
- e. An enclosed, off-leash dog run/relief/wash area including signage and pet waste bag and disposal stations adjacent to all entrances/exits.
 - i. The dog area shall contain at least one three-dimensional dog-oriented improvement (e.g. rock, jumps, fire hydrant).
 - ii. One potable water connection with dog bowl refilling and dog wash capabilities.
 - iii. A minimum of three benches or equivalent lounging furniture (at least one covered by an overhead shade canopy or evergreen tree), at least two secure in-place waste/recycling receptacles, and a minimum of three shade trees.
- f. Enclosed pool area with a minimum of an 800-square-foot swimming pool with at least one changing area and/or restroom. The pool area shall include at least three lounge chairs, two side tables, and one outdoor umbrella. Pool area shall include perimeter landscaping consisting of evergreen species and at least three shade trees that do not drop leaves, nuts, or fruits.



2.6.D.v.b Gathering areas shall consist of at least four picnic tables, or equivalent lounging furniture, with at least 25% of the area covered



2.6.D.v.f &g Amenity areas could include a swimming pool and/or spas



2.6.D.v.h Paved and accessible walking path/trail shall be at least five-feet wide with pedestrian scale lighting and seating areas



2.6.D.v.i Community garden shall include at least one potting station, compost bin, and tool shed

- g. Enclosed spa area with a minimum of two spas, one changing area or restroom, and a landscaped area containing evergreen species and a minimum of two shade trees, at least two chairs, and one side table.
- h. Minimum $\frac{1}{4}$ mile paved and accessible walking path/trail that is at least five-feet wide, with at least one pedestrian scale light and bench or equivalent lounging furniture provided for every 250 feet of path/trail. Seating areas along the path/trail shall be located adjacent to or in close proximity to the trail, and shall be covered or located under evergreen canopy trees.
- i. Community garden with at least one potting station containing a minimum two-foot by four-foot table, one compost bin, one shed sized to accommodate gardening tools and designed to match the primary building colors, materials, and architectural style. The community garden shall have at least one potable water connection and have irrigation provided to all garden beds.
- j. Other outdoor amenities mutually agreed upon between the developer and the City of Dublin.



CHAPTER 3

BUILDING DESIGN OBJECTIVE STANDARDS



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CHAPTER 3 - BUILDING DESIGN OBJECTIVE STANDARDS

Building forms, façades, and detailing influence cohesiveness, comfort, and aesthetic pride. Topics in this Chapter include building massing and form, façade articulation, roof forms, building and unit entries, fenestration, parking structure design, building materials and lighting, and accessory structures and utilities.

3.1 BUILDING FORM AND MASSING

Building massing and design delineate individual units or clusters of units, articulation, distinction, and identity through varied heights, setbacks, projections, and recesses. Materials and colors emphasize changes in building elements and massing.

- A. Building façades visible from the primary or side street shall not extend more than 40 feet in length without a five-foot variation in depth in the wall plane. Building entrances, front porches, upper-story setbacks, and projections such as stoops, bays, overhangs, and trellises count towards this requirement.
- B. Buildings greater than two stories shall be designed to differentiate a defined base, a middle or body, and a top, cornice, or parapet cap. Buildings less than two stories shall include a defined base and top.



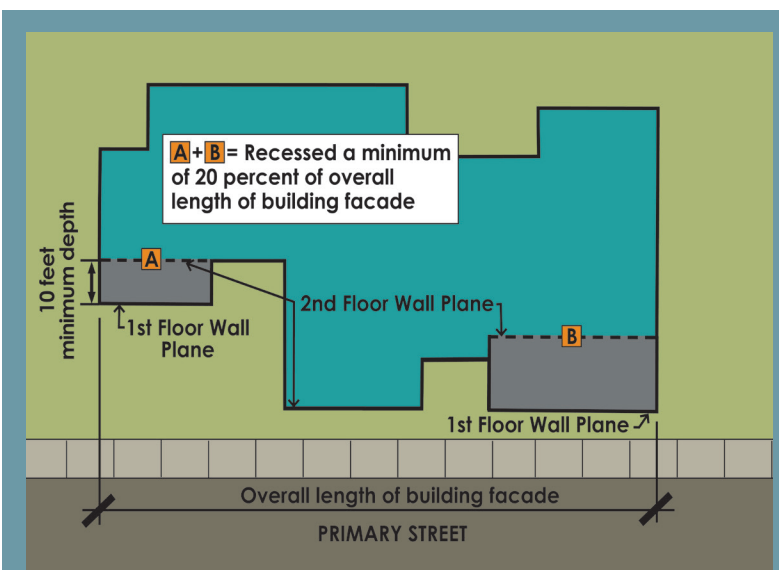
3.1 Building design shall include varied heights, setbacks, and wall plane variation



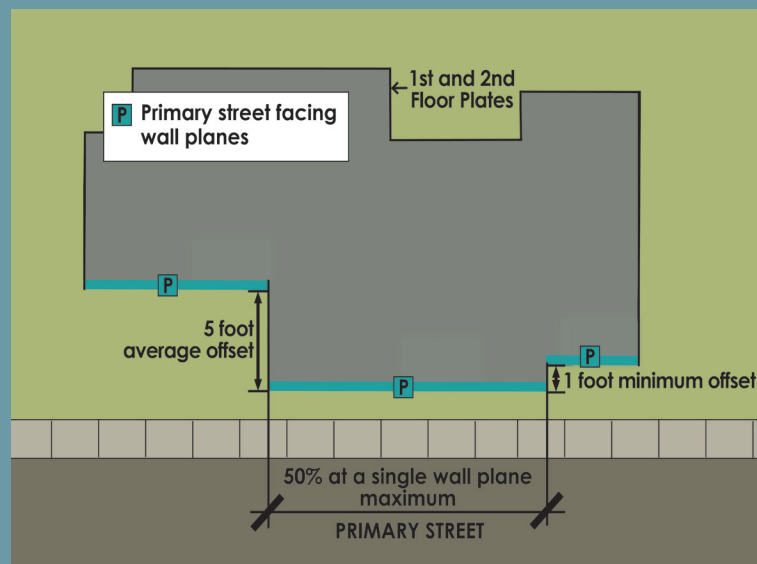
Building design lacking materials and colors is not permitted



3.1.A Building façades visible from a primary or side street shall not extend more than 40 feet without a five-foot variation in depth in the wall plane



3.1.C Upper floor areas stepped back from the primary street



3.1.D Building elevations longer than 50 feet along a primary street shall have no more than 50 percent of a building facade on a single plane

- C. A building located adjacent to a primary street frontage shall recess portions of any wall plane above two stories. A minimum of 20 percent of the upper floor facades (measured by the length of first floor wall plane adjacent to the primary street) shall be recessed. The average setback shall be 10 feet minimum for the upper floors as measured from the first-floor building wall plane. (See Figure 3.1.C)
- D. If the elevation facing a primary street is longer than 50 feet, no more than 50 percent of a building facade shall be on a single plane. An average of a five-foot offset, with a minimum of one foot offset, is required for the remaining 50 percent of the building facade.
- E. Elevations not facing a primary street shall have no more than 75 percent of a building facade on a single plane. An average of a five-foot offset, with a minimum of one foot offset, is required for the remaining 25 percent of the building facade.

3.2 FAÇADE ARTICULATION

- A. Buildings shall be designed with the same suite of building details, articulation, and materials on all sides.
- B. Walls that are publicly visible from a primary or side street shall not run in a continuous horizontal plane for more than 40 feet without incorporating articulation features such as glazing, overhangs, cornices, canopies, columns, pilasters, trellises, arches, or clearly defined projecting or recessed architectural element(s).
- C. Building elements that do not provide authentic structural support but are provided to add aesthetic appeal, such as pilasters, columns, and unsupported trellises shall be designed to appear functional.
 - i. Cantilevered balconies are only allowed on buildings with contemporary architectural styles.
 - ii. All other architectural styles shall incorporate a column, post, corbel, brace, or decorative support cable to ensure the building element appears structurally supported and not tacked on or unsupported.
- D. Garage doors shall be recessed into the garage wall, with a minimum of four inches, provided between the face of the garage door and the adjacent primary wall plane, to accentuate shadow patterns and relief.
- E. Where a balcony or ground floor patio is located adjacent to a window of an adjoining dwelling unit, the balcony railings or patio wall and/or fencing shall be constructed with limited openings and utilize materials which provide a minimum of 85 percent screening of balcony or ground floor patio areas (measured from the finished floor of private outdoor spaces to top of the railing, fencing, and/or wall).



3.2.B Building walls that are visible from a primary or side street shall not run in a continuous horizontal plane for more than 40 feet without incorporating articulation techniques



3.2.D Garage doors shall be recessed into the wall plane



3.3.A Roof lines shall be vertically articulated with a change in form or ridge line height



3.3.D Parapets shall be articulated to feature stylistic architectural details

3.3 ROOF FORMS

- A. Roof lines shall not extend more than 40 feet in length without a change in form or ridge line as described below:
 - i. Vary roof forms, such as hip, gable, shed, flat, and mansard.
 - ii. Incorporate architectural elements, such as parapets, varying cornices, and reveals.
 - iii. Vary roof height at least two feet from adjacent roofs, as measured from the highest point of the roof lines.
- B. Parapets shall be provided around the perimeter of a flat roof and shall be high enough to screen all rooftop mechanical equipment from being visible from a public area or along the public right-of-way. Parapets shall be at least six inches above the tallest rooftop equipment.
- C. Interior side of parapet wall shall not be visible from the public right-of-way.
- D. Parapet shall be capped with pre-cast treatments, continuous banding, or projecting cornices, dentils, or similar edge treatment consistent with the identified traditional or universally recognized architectural style.

3.4 BUILDING AND UNIT ENTRIES

- A. Individual building and/or unit entry design shall incorporate architectural treatments (e.g., feature window details, tower, decorative veneer or siding, porch/stoop), projecting elements above the entrance, and/or changes in roof line or wall planes.
- B. Primary entrances located on the ground floor shall include one or more of the following:
 - i. Stoop:
 - a. Serving a maximum of two units.
 - b. Stair width shall be a minimum four feet in width. Lowest riser shall be set back to ensure railings do not encroach in the public right-of-way.
 - c. Entry landing shall be a minimum five feet in depth.
 - d. Either projected or recessed weather protection with a minimum depth of 36 inches.
 - ii. Front Porch:
 - a. Minimum dimension of four feet of depth.
 - b. Either projected or recessed weather protection with a minimum depth of 36 inches.
 - c. Maximum porch floor height from the sidewalk grade shall be five feet.



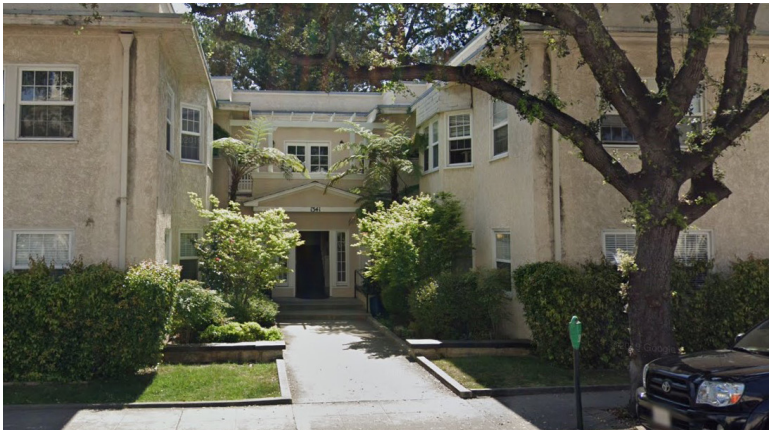
3.4.B.i Stoop Entry



3.4.B.ii Front Porch Entry



3.4.B.iii Terrace Entry



3.4.B.iv Frontage Court Entry

iii. Terrace:

- a. May serve as entry to multiple units.
- b. Maximum terrace floor height from the sidewalk or walkway grade shall be five feet.
- c. Maximum wall/fence/hedge height surrounding terrace shall be 42 inches above terrace floor.
- d. Lowest riser shall be set back to ensure railings do not encroach in the public right-of-way.

iv. Frontage Court:

- a. May serve as entry to multiple units.
- b. Minimum width along primary frontage shall be 25 feet.
- c. Maximum width along primary frontage shall be 50 percent of the façade length or 80 feet, whichever is less.
- d. Minimum depth of 15 feet and maximum depth of 50 feet shall be maintained.

3.5 FENESTRATION

- A. Functional and decorative shutters shall maintain the same dimensions as the associated glazing. Functional and decorative shutters shall be half the width of the associated window glazing (for paired shutters), or matching width for a single shutter.
- B. Window materials, color, and style shall be consistent on all elevations.
- C. Window trim, sills, and shutters shall be differentiated with accent materials or colors that vary from the adjacent building wall surfaces.
- D. One of the following window treatments shall be provided on all elevations:
 - i. Windows shall be recessed at least two inches from surrounding exterior wall to the window glass surface.
 - ii. Built-up sills and trim, at a minimum 1/2 inch thick, shall be used to create surface relief and texture.



3.5.A Shutters shall reflect the same dimensions as the associated glazing



3.5.B Window materials, colors, and style shall be consistent on all elevations and match the architectural style of the building



3.6.B.ii. Parking structure walls shall feature decorative architectural elements such as screens, awnings, trellises, louvers, and/or grills to enhance wall articulation and provide screening



3.6.D Vertical planting shall be provided to quickly screen non-descript exterior parking structure walls.

3.6 PARKING STRUCTURES

- A. Parking structure walls visible from the street shall not extend more than 40 feet in length without a three-foot variation in depth in the wall plane.
- B. Exterior parking structure wall surfaces shall mimic the primary building(s) on the site in regards to materials, colors, and design elements such as fenestration, railings, and building opening sizes and shapes and also utilize one or more of the following articulation methods:
 - i. Applied materials such as brick, stone, and/or siding which extend at least six inches from the face of the structure to the face of the applied materials.
 - I. Painted, smooth concrete, or stucco walls shall not be included as articulated materials.
 - ii. Decorative architectural features such as cut metal screens, awnings, trellises, louvers, and/or decorative security grills.
 - iii. Parking structures two-stories or less shall apply such articulation to a minimum of 25 percent of the total wall area.
 - iv. Parking structures three stories and more shall apply such articulation to a minimum of 35 percent of the total wall area.
- C. Parking structures facing primary streets shall provide a minimum of a five-foot planting area between the parking structure wall and public street.
- D. Vertical planting shall be located to provide screening to wall surfaces located between openings, entrances, and architectural accent features. Planting shall be evergreen screening vegetation that will grow to a minimum of 75 percent of the height of the parking structure, with container size selected to achieve this height of at least 50 percent within at least two (2) years from time of installation.

- E. For semi-subterranean parking structures facing a primary street, the parking structure walls shall be limited to four feet in height above the average grade along the primary street, and articulated materials requirements per sections A, B, and C shall be incorporated.
- F. Parking structures located directly adjacent to a public right-of-way shall provide at least one centrally located exterior pedestrian gathering space such as a plaza or courtyard between the parking structure and the primary roadway. Pedestrian gathering space shall include at least two benches facing the street (covered or shaded by trees), one waste receptacle, and at least four short-term bike racks.
- G. Parking structures facing Arterial roadways shall provide commercial mixed-uses and/or habitable uses along 75 percent of the street frontage, where permitted by zoning. Non-parking structure space shall be a minimum depth of 30 feet.
- H. Stormwater source controls shall be integrated into parking garages. Projects shall plumb interior parking garage floor drains to a stormwater treatment measure or the sanitary sewer, with approval from Dublin San Ramon Services District. Open levels of parking garages shall be directed to a stormwater treatment measure and sized in accordance with the Municipal Regional Stormwater NPDES Permit.
- I. Projects shall incorporate green stormwater infrastructure, sized in accordance with the Municipal Regional Stormwater NPDES Permit, as part of landscape and drainage plans.

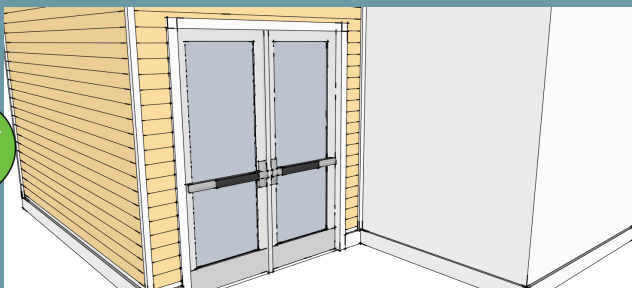


3.6.F. Parking structures located directly adjacent to a public right-of-way shall provide at least one centrally located pedestrian gathering space

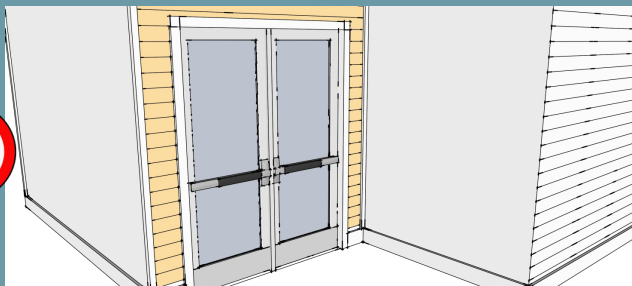


3.6.G. Parking structures facing Arterial roadways shall provide commercial mixed-uses and/or habitable uses along the street frontage

3.7 BUILDING MATERIALS, COLORS, AND LIGHTING



3.7.A Material changes shall occur at inside corners of walls or at architecture features that break up the wall plane



Materials changes shall not be located at the outside corners or within the wall plane

- A. Building materials shall wrap building corners and changes shall occur at inside corners of intersecting walls or at architecture features that break up the wall plane, such as columns.
- B. Guardrail and railing design, color, finish, and materials shall be consistent with the primary structure.
- C. Use of accent materials such as glass, tile, brick, stone, concrete, or plaster shall be incorporated to highlight building features.
- D. Bright/vibrant color schemes shall be limited to trim and accent elements. Bright/vibrant colors are not permitted as a primary wall surface.
- E. All building-mounted and site light fixtures shall be fully shielded and utilize cohesive colors and finishes which reflect the primary building's architectural style.



3.7.D Limit bright and vibrant colors to trim and accent materials

3.8 ANCILLARY STRUCTURES, EQUIPMENT, AND UTILITIES

- A. A minimum of 200 cubic feet of accessory storage space shall be provided for each unit within the development. The storage shall be located within 500 feet of the dwelling unit or within the project's parking garage.
- B. Accessory storage space may be located within a private garage or carport, or private outdoor space (e.g. patio, or balcony) assigned to the unit, and shall not be located within the habitable area. If accessory storage is provided on a patio or balcony, the amount of storage space shall be in addition to the private open space requirement and shall be designed with materials used within the primary building.
- C. In ground and wall mounted utility elements such as wires, conduits, junction boxes, transformers, ballasts, backflow devices, irrigation controllers, switch and panel boxes, and utilities such as gas and electrical meters shall be concealed from public view by evergreen landscaping and/or architectural features, such as a wall or trellis.
- D. Equipment and utility wall and fencing screening shall incorporate the materials and colors of the primary building design. Landscape screening shall be selected and planted to completely conceal utility elements.
- E. Detached garages or carports and other accessory buildings/ structures shall be designed using roof forms, materials, colors, and details used on the primary structure. Prefabricated metal carports and accessory structures are not permitted.
 - i. If carports are utilized, they shall incorporate decorative support posts that are at least six inches wide.



3.8.C Equipment/utility elements shall be concealed or screened from public view



Exposed equipment/utility elements are not permitted



3.8.G Surface ventilation features shall match the adjacent roof or wall material and/or color



3.8.H Downspouts shall not be prominently located and shall be placed at the inside edges of the building walls and designed to match the other building accents

- F. Refuse areas shall be located within a building, incorporated into the building design, or located within a detached enclosure designed and placed as follows:
 - i. To the rear or sides of the buildings, and not visible from the street or public right-of-way.
 - ii. Incorporate the materials and colors of the primary building design.
 - iii. Be screened with a minimum three-foot-wide planting area containing fast growing evergreen vegetation.
- G. All flashing, sheet metal vents, exhaust fans/ventilators, and pipe stacks shall be painted to match the adjacent roof or wall material and/or color. All wall mounted utilities shall be located at interior corners of building walls or behind building elements that conceal the utilities from public view.
- H. Scuppers, downspouts, and drains shall be internalized or located at the inside edges of building walls, porches, or columns. External scuppers, downspouts, and drains are not permitted on prominent or highly visible portions of a wall surface. If they are provided, they shall be painted and/or constructed of decorative materials that match other building accents.



APPENDIX A

GLOSSARY OF TERMS



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APPENDIX A - GLOSSARY OF TERMS

The following Glossary of Terms provides definitions of terms and phrases used in the Objective Design Standards. For other definitions, please refer to Chapter 8.08 (Definitions) of the Dublin Municipal Code.

Brackets. A projection from a vertical surface providing structural or visual support under cornices, balconies, windows, or any other overhanging member.

Carport. A structure, or portion of a structure, accessible to vehicles, with a solid weatherproof roof that is permanently open on at least two sides, used as parking or storage of one or more motor vehicles.

Common Usable Outdoor Space. Exterior space area that is readily accessible for use by the residents and users within the development. Designed and reserved for outdoor living and social gathering, active and passive recreation, and pedestrian access and amenities.

Contemporary Architectural Style. A building designed utilizing modern and post-modern character and materials, such as minimal and non-traditional adornments, simple geometric massing, and flat roofs.

Controlled Entrances. Vehicular access to a residential development or property that is obstructed by a gate which residents or visitors can open from their car or home.

Cornice. The uppermost division of an entablature; a projecting shelf along the top of a wall supported by a series of brackets; the exterior trim at the meeting of a roof and wall, consisting of soffit, fascia, and crown molding.

Façade. The exterior face or elevation of the building, extending from grade to the eaves or the top of the parapet wall and the entire width of the building elevation.

Fenestration. The arrangement, proportioning, and design of windows, doors, and other exterior openings in a building.

Frontage Court. An open courtyard area in front of a building's entrance(s).

Gable Roof. A roof having a gable at one or both ends; a roof sloping downward in two opposite directions from a central ridge, so as to form a gable at each end.

Hipped Roof. A roof which slopes upward from all four sides of a building, requiring a hip rafter at each corner.

Juliet Balcony. An ornamental railing applied at a full-length window, projecting slightly beyond the plane of the window, threshold or sill, having the appearance of a balcony.

Lounging Furniture. A cohesive set of outdoor furnishings to comfortably accommodate at least four people, such as exterior couches and/or chairs.

Luminaire. A complete lighting system, including a lamp or lamps and a fixture.

Mansard Roof. A roof with a steep lower slope and a flatter upper slope on all sides, either of convex or concave shape.

Net Site Area. Total area within the property lines of a project that is available for development, excluding all non-buildable areas such as the public right-of-way, creek setbacks, and easements which may be included within the parcel.

Parapet. A low protective wall or railing along the edge of a roof, balcony, or similar structure; in an exterior wall, the part entirely above the roof.

Pilaster. A partial pier or column, often with a base, shaft, and capital that is embedded in a flat wall and projects slightly; may be constructed as a projection of the wall itself.

Primary Street. A public or private street that provides access to the major entry of a project or structure.

Private Outdoor Space. Consist of balconies, decks, patios, fenced yards, and other similar areas located immediately adjacent to a residence and only available for use by the individuals residing in the residence.

Publicly Visible. Capable of being seen by a person of average height and visual acuity while walking or driving on a street.

Shutter. Hinged panels, sometimes louvered, fixed on the outside a window that can be closed for security or privacy or to keep out light.

Side Street. A minor or subsidiary street that may intersects with or adjoin a Primary Street.

Traditional or Universally Recognized Architectural Style. There is no predominate residential architectural style in Dublin. Traditional or universally recognized residential architectural styles include, but are not limited to Contemporary, Craftsman, European Cottage, Mediterranean, Monterey, Spanish Eclectic, and Tuscan. Refer to the Dublin Crossing Specific Plan for additional information on details and styles.



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